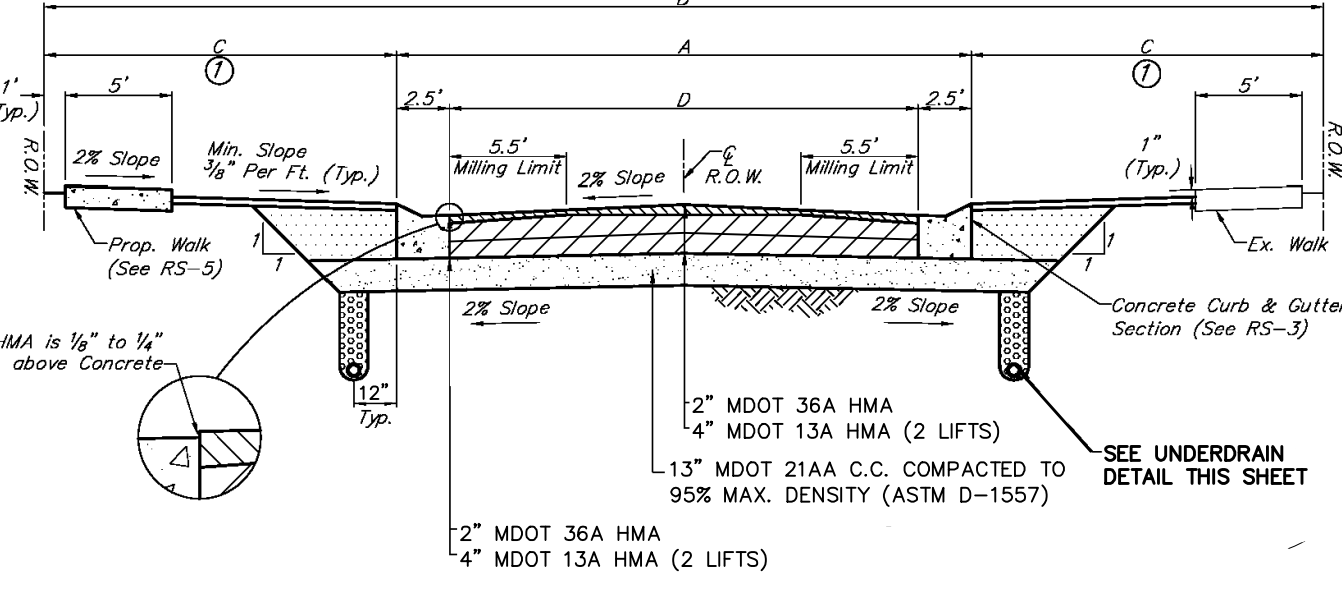
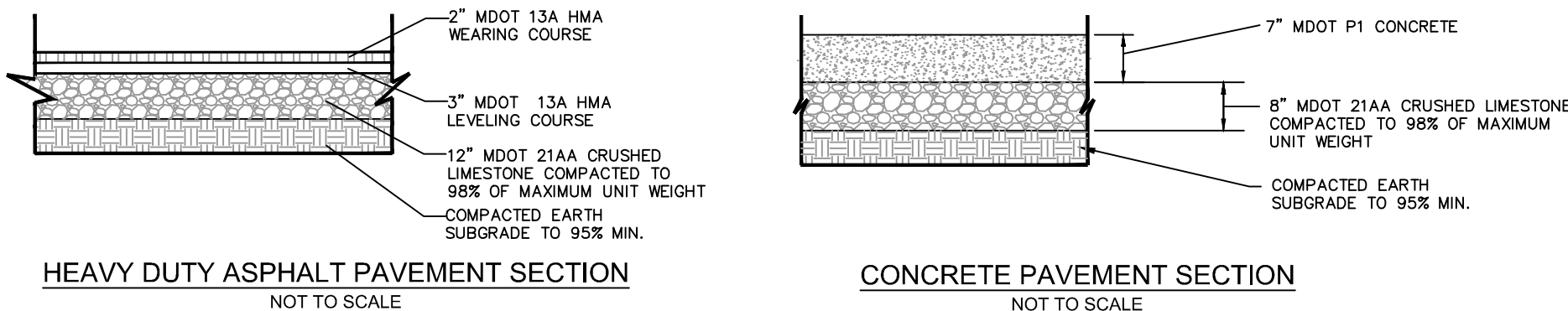
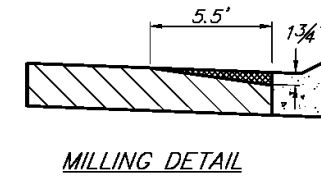
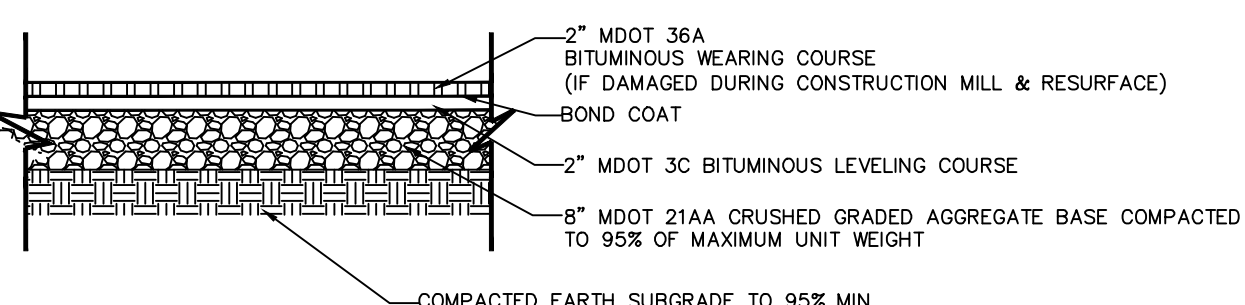


	A	B	C	D
Residential Street	27'	60'	16.5'	22'
Residential Feeder-Collector/Distributor Road	39'	88'	24.5'	34'
Residential Street Approach to Primary Road	39'	60'	10.5'	34'

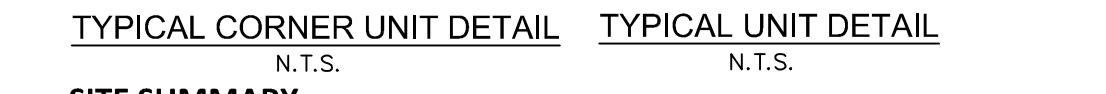
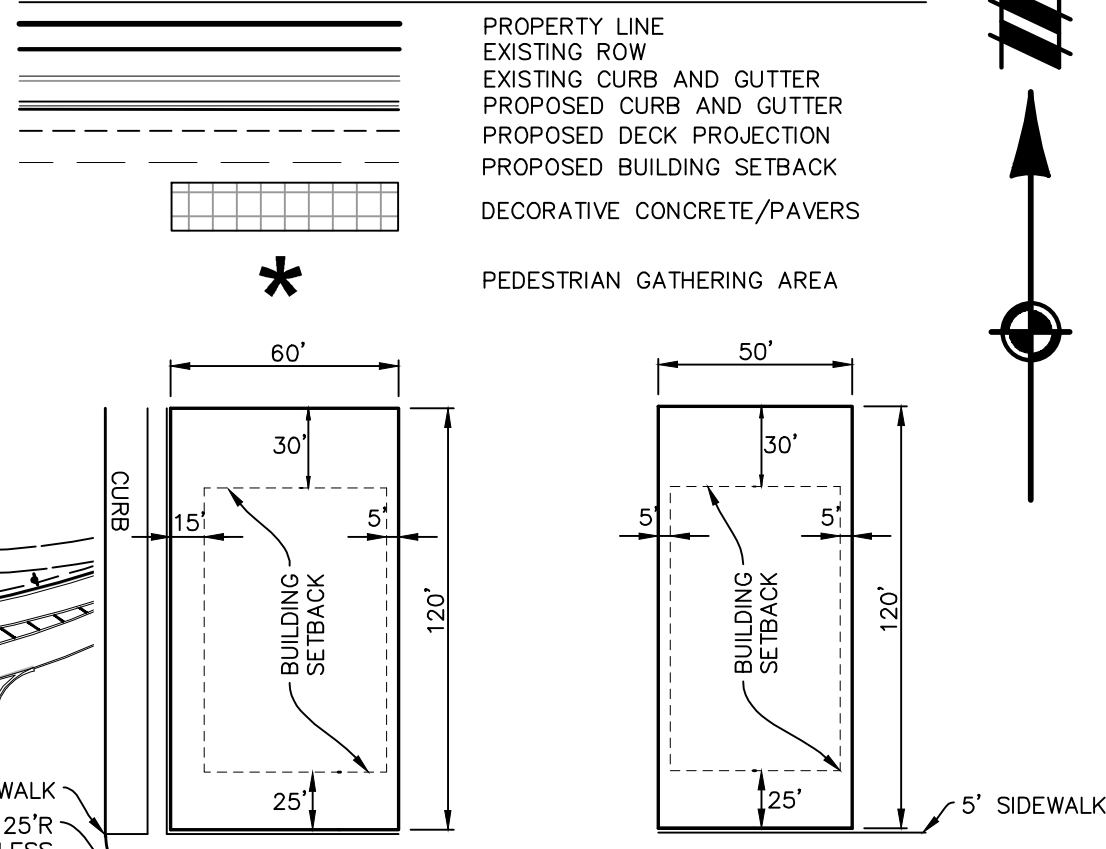


ON-SITE ASPHALT ROAD DETAIL (FINAL SECTION)
NO SCALE



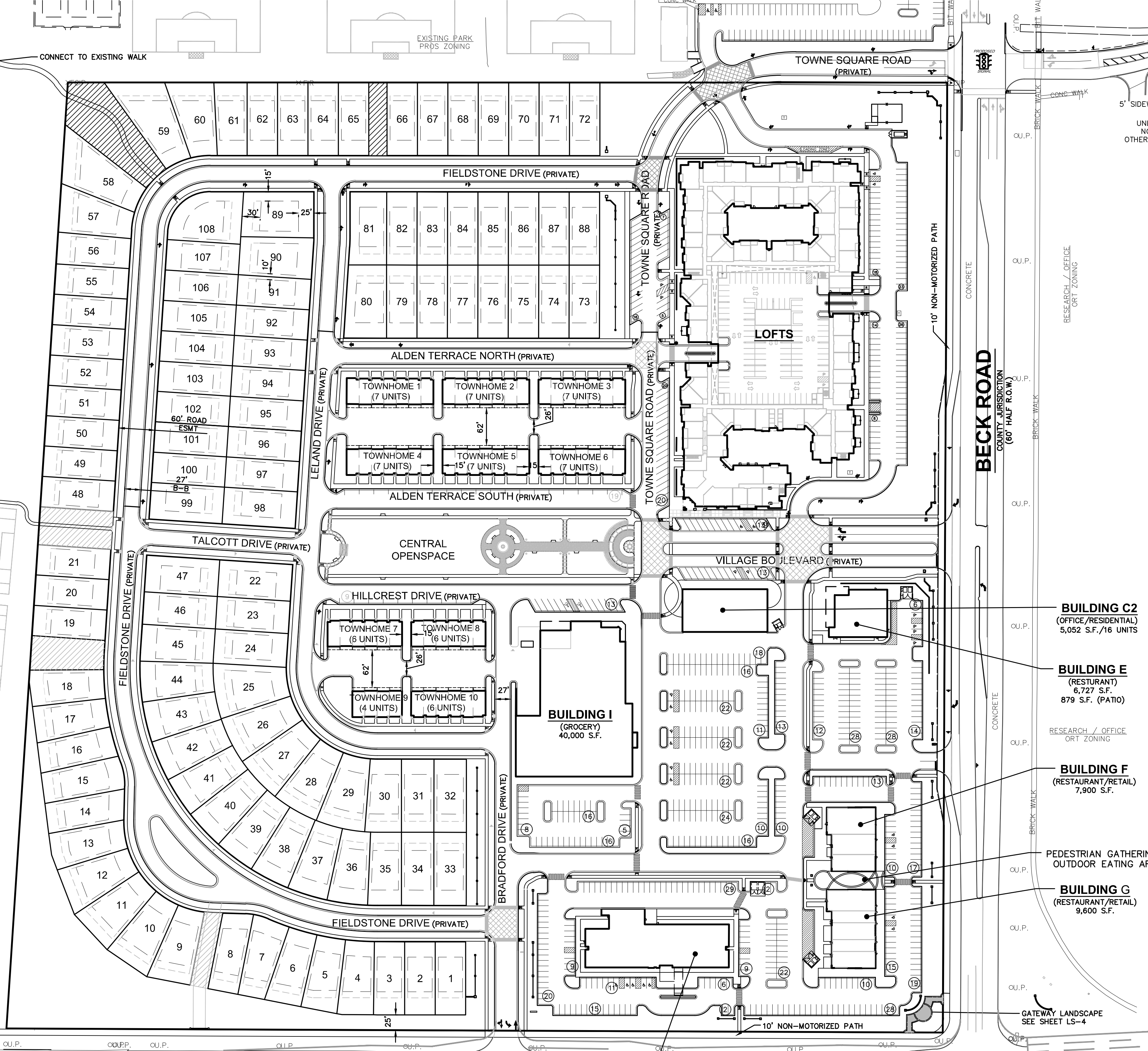
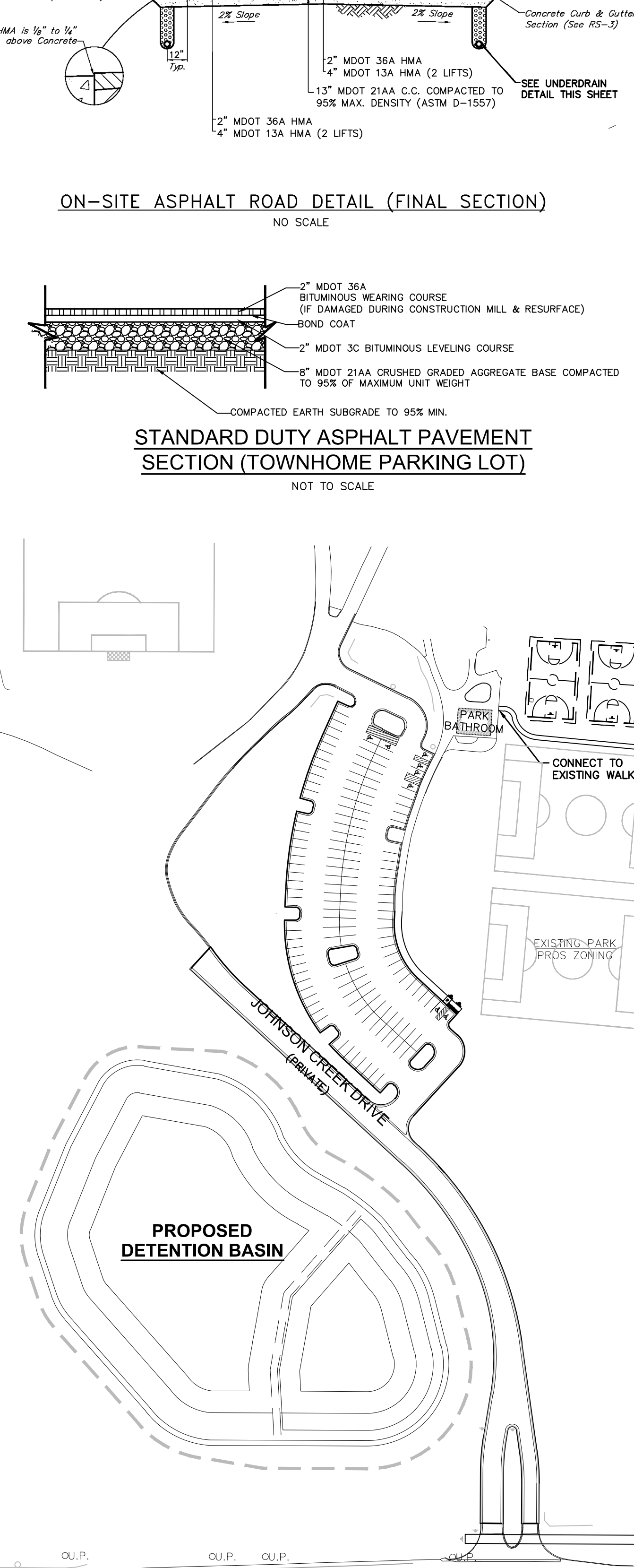
STANDARD DUTY ASPHALT PAVEMENT SECTION (TOWNHOME PARKING LOT)
NOT TO SCALE

LEGEND



SITE SUMMARY

PARCEL SIZE (GROSS):	53.4 ACRES
EXISTING ZONING:	PUD
PROPOSED ZONING:	PUD
SINGLE FAMILY LOTS:	108 TOTAL
LOT SIZE (MIN.):	50' X 120' (6,000 SF MIN)
SETBACKS:	
FRONT:	25'
REAR:	30'
SIDE:	5' MIN. / 10' TOTAL
LOT COVERAGE:	45%
TOWNHOMES:	
DWELLING UNITS PER BLDG:	100 UNITS
BUILDING SIZE:	VARIES
BUILDING HEIGHT:	3 STORIES (35')
SETBACKS:	
SIDE TO SIDE:	15' MIN.
REAR TO REAR:	62' MIN.
PARKING:	
REQUIRED GUEST PARKING:	0.5 SPACES PER UNIT
TOTAL REQUIRED (TOWNHOMES):	50 SPACES
LOFTS:	
TOTAL UNITS:	283
1 BEDROOM:	167 (59% TOTAL UNITS)
2 BEDROOM:	98 (35% TOTAL UNITS)
2 BEDROOM + DEN:	18 (6% TOTAL UNITS)
BUILDING HEIGHT:	60' MAXIMUM
PARKING:	
REQUIRED:	2.5 SPACES PER UNIT
TOTAL REQUIRED - ORDINANCE (LOFTS):	708 SPACES
TOTAL REQUIRED - PUD (LOFTS):	614 SPACES
REQUIRED:	
4-LEVEL GARAGE PARKING:	466 SPACES
SURFACE PARKING:	93 SPACES
STREET PARKING*	55 SPACES
TOTAL PROVIDED (LOFTS):	607 SPACES
PROVIDED:	
4-LEVEL GARAGE PARKING:	461 SPACES
SURFACE PARKING:	89 SPACES
STREET PARKING:	57 SPACES
*NOTE:	4 SPACES LOCATED ON TOWNE SQUARE ROAD ARE ALLOCATED TO THE TOWNHOME PARKING REQUIREMENT WHICH ARE NOT INCLUDED IN THE STREET PARKING TABULATION
LOFTS PARKING RATIO:	(607 SPACES/283 UNITS) 2.14 SPACES/UNITS
COMMERCIAL:	
BUILDING AREAS (GROSS):	
BUILDING C2:	OFFICE 5,052 S.F.
BUILDING E:	RESTAURANT WITH BAR 6,727 S.F.
BUILDING F & G:	60% RESTAURANT/40% RETAIL 17,459 S.F.
BUILDING H:	4 STORY HOTEL 17,953 S.F.
BUILDING I:	GROCERY 40,000 S.F.
TOTAL BUILDING AREA:	87,191 S.F.
PARKING REQUIRED: (USEABLE FLOOR AREA = 85% OF GROSS FLOOR AREA)	
RETAIL:	46,983 S.F. (GROSS)
4.5 SPACES / 1,000 S.F. (0.80 X 46,983) / 1,000 X 4.5 = 180 SPACES	
OFFICE:	5,052 S.F. (GROSS)
1 SPACES / 300 S.F. (0.85 X 5,052) / 300 X 1 = 15 SPACES	
RESTAURANT (WITH BAR):	6,727 S.F. (GROSS) + 879 S.F. (PATIO)
20 SPACES / 1,000 S.F. + SPACES FOR PATIO SEATING (0.85 X 6,727+879) / 1,000 X 20 = 132 SPACES	
RESTAURANT (WITHOUT BAR):	10,476 S.F. (GROSS)
15 SPACES / 1,000 S.F. (0.85 X 10,476) / 1,000 X 15 = 134 SPACES	
HOTEL:	105 ROOMS / 5 EMPLOYEES
1 SPACE / ROOM + 1 SPACE / EMPLOYEE 105 + 5 = 110 SPACES	
TOTAL REQUIRED PARKING (COMMERCIAL):	571 SPACES
COMMERCIAL PARKING RATIO:	(571 SPACES/87,191 S.F.) X 1,000 S.F. 6.55 SPACES/1,000 S.F.
TOTAL PROVIDED PARKING (COMMERCIAL):	580 SPACES
PROVIDED PARKING RATIO:	(580 SPACES/87,191 S.F.) X 1,000 S.F. 6.65 SPACES/1,000 S.F.
TOTAL SITE REQUIRED PARKING:	1,235 SPACES
PROPOSED PARKING:	
TOWNHOMES (SURFACE SPACES):	32
COMMERCIAL:	580
LOFTS:	607
TOTAL PARKING PROVIDED:	1,219 SPACES



BUILDING C2 (OFFICE/RESIDENTIAL)	5,052 S.F./16 UNITS
BUILDING E (RESTAURANT)	6,727 S.F. (PATIO) 879 S.F.
BUILDING F (RESTAURANT/RETAIL)	7,900 S.F.
BUILDING G (RESTAURANT/RETAIL)	9,600 S.F.
BUILDING H (HOTEL)	17,953 S.F. 105 ROOMS

TOTAL REQUIRED PARKING (COMMERCIAL):	571 SPACES
COMMERCIAL PARKING RATIO:	(571 SPACES/87,191 S.F.) X 1,000 S.F. 6.55 SPACES/1,000 S.F.
TOTAL PROVIDED PARKING (COMMERCIAL):	580 SPACES
PROVIDED PARKING RATIO:	(580 SPACES/87,191 S.F.) X 1,000 S.F. 6.65 SPACES/1,000 S.F.
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TOWNHOMES (SURFACE SPACES):	32
COMMERCIAL:	580
LOFTS:	607
TOTAL PARKING PROVIDED:	1,219 SPACES

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

SECTION 17
TOWN 1 SOUTH, RANGE 8 EAST
NORTHVILLE TOWNSHIP
WAYNE COUNTY, MICHIGAN

NORTHVILLE FIVE, LLC.
THE VILLAGE AT NORTHVILLE
CONCEPTUAL PUD PLAN
OVERALL LAYOUT

DATE: NOV. 08, 2016

REV. 11-17-2016
REV. 12-02-2016
REV. 01-24-2017
REV. 10-30-2017
REV. 01-12-2018
REV. 02-19-2018
REV. 03-14-2018
REV. 04-27-2018
REV. 05-21-2018
REV. 08-01-2018
REV. 12-03-2018
REV. 08-28-2019
REV. 09-12-2019
REV. 02-19-2021
REV. 12-17-2021
REV. 01-13-2022
REV. 03-21-2022

REVISIONS

SCALE: 1" = 100 FEET
DRAWN BY: KWS
CHECKED BY: JFA
P.M.: JFA
JOB #: 15001103
FILE CODE: -
SHEET NO. 10

NOT FOR CONSTRUCTION

K:\15001103\DWG\PLAN_SETS\PLAN_15001103_PUD-04-0-DWG_3/22/2022 11:34 AM NOAH_MCHULNY

CAD FILE: 15001103_PUD-04-0-DWG