



Ms. Jennifer Frey
Township Planner
Township of Northville
44405 Six Mile Road
Northville, MI 48168

Re: Resubmission - Special Land Use Approval for 47500 Six Mile Road
Tax ID No's: 77-032-99-0017-004
77-032-99-0017-005

Current Zoning: R-2 – Single Family Residential
Proposed Use: Private Childcare

Dear Ms. Frey:

During the Planning Commission meeting held on March 22, 2022, comments were made about the proposed site that could be changed to better compliment the surrounding residential community. It was noted in disfavor that elevation was significantly higher than that of the surrounding properties. Specifically, the residential area to the north of the site.

Although the elevation difference between the two properties is an existing topographical feature, a revision has been made to the civil site plan to reduce this elevation difference so the facility can blend in more seamlessly.

The site has been lowered by approximately 1.50 feet. To accomplish the lowering of the site and still maintain reasonable slopes on the drive access to Six Mile Road, the improvements on the site were shifted approximately 18 feet. 1.50 feet is the maximum that we could lower the site without significantly revising the layout or exceeding recommended pavement slopes and ADA requirements. The shift of the site elements has additionally created a more visually dense landscape screen which will help create a more opaque barrier between Premier Academy and the subdivision.

Childcare Centers/Schools are well known uses in residentially zoned areas. This use as a child care center provides a necessary component to adjacent residential neighborhoods, in a community with an extremely high demand for childcare services.

Premier Academy has made all requested changes to the site and has provided plans of a facility that meet the demanding local childcare needs, and blends harmoniously in with surrounding neighbors.

Respectfully submitted,

Jeff Schmitz

