

Ms. Jennifer Frey Township Planner Township of Northville 44405 Six Mile Road Northville, MI 48168

Re: Resubmission - Special Land Use Approval for 47500 Six Mile Road

Tax ID No's: 77-032-99-0017-004 77-032-99-0017-005

Current Zoning: R-2 – Single Family Residential

Proposed Use: Private Childcare

Dear Ms. Frey:

During the Planning Commission meeting held on March 22, 2022, comments were made about the proposed site that could be changed to better compliment the surrounding residential community. It was noted in disfavor that elevation was significantly higher than that of the surrounding properties. Specifically, the residential area to the north of the site.

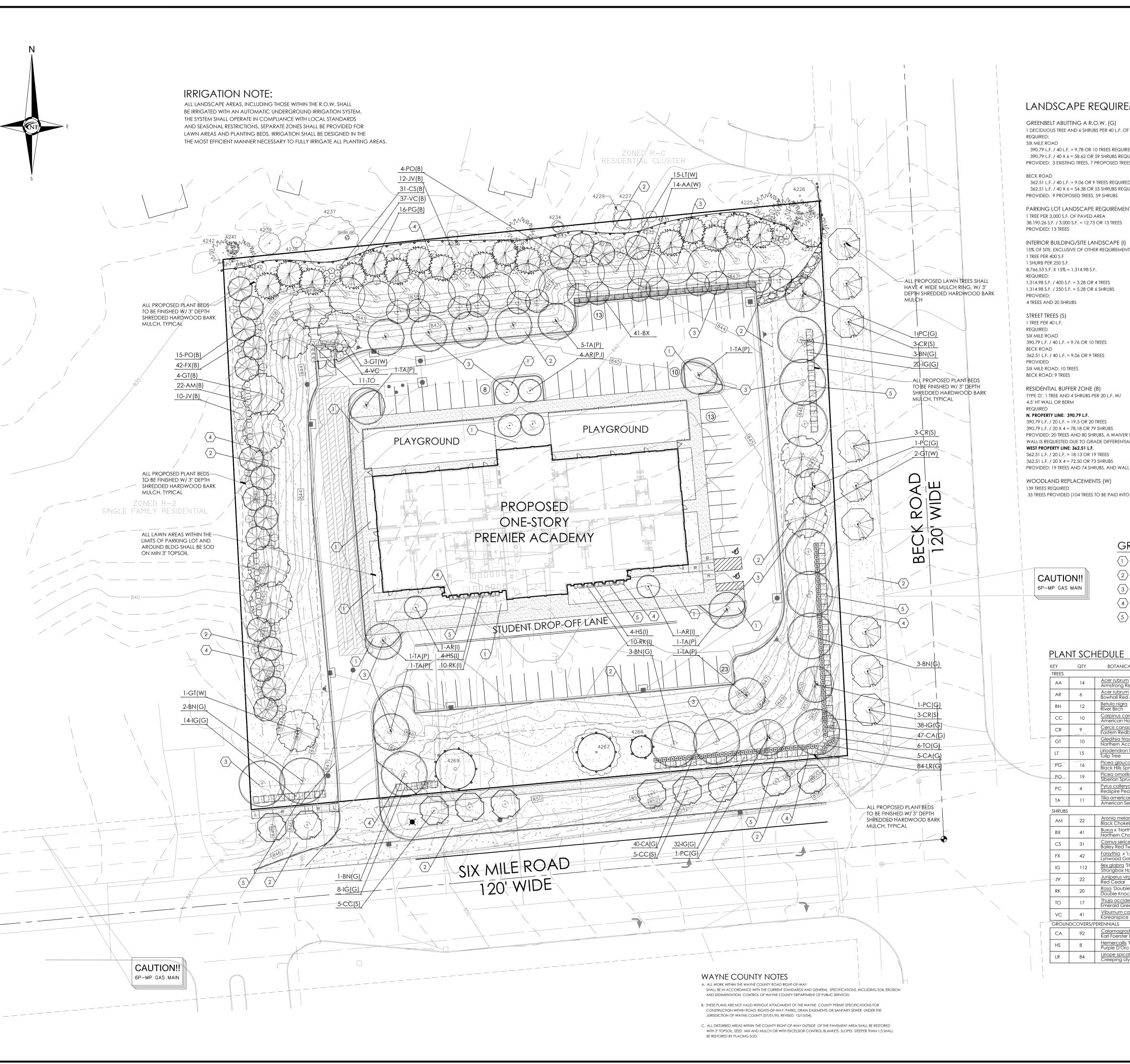
Although the elevation difference between the two properties is an existing topographical feature, a revision has been made to the civil site plan to reduce this elevation difference so the facility can blend in more seamlessly.

The site has been lowered by approximately 1.50 feet. To accomplish the lowering of the site and still maintain reasonable slopes on the drive access to Six Mile Road, the improvements on the site were shifted approximately 18 feet. 1.50 feet is the maximum that we could lower the site without significantly revising the layout or exceeding recommended pavement slopes and ADA requirements. The shift of the site elements has additionally created a more visually dense landscape screen which will help create a more opaque barrier between Premier Academy and the subdivision.

Childcare Centers/Schools are well known uses in residentially zoned areas. This use as a child care center provides a necessary component to adjacent residential neighborhoods, in a community with an extremely high demand for childcare services.

Premier Academy has made all requested changes to the site and has provided plans of a facility that meet the demanding local childcare needs, and blends harmoniously in with surrounding neighbors.

Respectfully submitted,





GREENBELT ABUTTING A R.O.W. (G)

390.79 L.F. / 40 L.F. = 9.78 OR 10 TREES REQUIRED 390.79 L.F. / 40 X 6 = 58.62 OR 59 SHRUBS REQUIRED PROVIDED: 3 EXISTING TREES, 7 PROPOSED TREES, 60 SHRUBS

362.51 L.F. / 40 X 6 = 54.38 OR 55 SHRUBS REQUIRED PROVIDED: 9 PROPOSED TREES, 59 SHRUBS

38,190.26 S.F. / 3,000 S.F. = 12.73 OR 13 TREES

15% OF SITE, EXCLUSIVE OF OTHER REQUIREMENTS 8,766.53 S.F. X 15% = 1,314.98 S.F.

TYPE 'D', 1 TREE AND 4 SHRUBS PER 20 L.F. W/

WOODLAND REPLACEMENTS (W)

1 DECIDUOUS TREE AND 6 SHRUBS PER 40 L.F. OF ROAD FRONTAGE

362.51 L.F. / 40 L.F. = 9.06 OR 9 TREES REQUIRED

PARKING LOT LANDSCAPE REQUIREMENTS (P) 1 TREE PER 3,000 S.F. OF PAVED AREA

INTERIOR BUILDING/SITE LANDSCAPE (I)

1,314.98 S.F. / 400 S.F. = 3.28 OR 4 TREES 1,314.98 S.F. / 250 S.F. = 5.28 OR 6 SHRUBS

390.79 L.F. / 40 L.F. = 9.76 OR 10 TREES 362.51 L.F. / 40 L.F. = 9.06 OR 9 TREES

RESIDENTIAL BUFFER ZONE (B)

N. PROPERTY LINE: 390.79 L.F. 390.79 L.F. / 20 L.F. = 19.5 OR 20 TREES 390.79 L.F. / 20 X 4 = 78.18 OR 79 SHRUBS PROVIDED: 20 TREES AND 80 SHRUBS, A WAIVER FOR WALL IS REQUESTED DUE TO GRADE DIFFERENTIAL WEST PROPERTY LINE: 362.51 L.F. 362.51 L.F. / 20 L.F. = 18.13 OR 19 TREES

35 TREES PROVIDED (104 TREES TO BE PAID INTO THE TREE FUND)

7 MILE ROAD

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

ENGINEERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

GENERAL LANDSCAPE NOTES

LOCATION MAP

- AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY
- CONCERNS.

 THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK, ANY DAMAGE OR INTERUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- OF THE CONTRACTOR.

 3. THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTACBLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.

 4. PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.

 5. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
- ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE
 GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1)
 YEAR FOLLOWING PLANTING.
 ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST
- RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".

 8. CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS
- AND A DEPTH OF 4" IN ALL LAWN AREAS.

 9. PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON-SITE, SOIL
 SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE.

 10. SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE
 BEING BACKFILLED, APPLICATION SHALL BE AT THE MANUFACTURERS RECOMMENDED
 PATES
- RATES.

 11. AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL,
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DAIRY DOO" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
 ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS, MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PIECES ON INCONSISTENT SIZE.
 NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE.
 THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
 THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL ITAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.

- 10 REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.

 17. THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOD (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.

 18. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER PEOWER AND SONDING ONLY AND A PROJUNCTIONES.
- WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.

 19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND

GROUNDCOVER KEY

 $\langle 1 \rangle$ TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL

- 2 HYDRO-SEED AND MULCH ON 3" TOPSOIL
- 3 4' DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH $\langle 4 \rangle$ 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- $\langle 5 \rangle$ 3/16" X 4" METAL EDGING ON BEDS, STAKED PER MANUFACTURER

PLANT SCHEDULE

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
TREES						
AA	14	Acer rubrum 'Armstrong' Armstrong Red Maple	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
AR	6	Acer rubrum 'Bowhall' Bowhall Red Maple	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
BN	12	Betula nigra River Birch	12-14' HT	SEE PLAN	B&B	CLUMP FORM, 3 CAN
CC	10	Carpinus caroliniana American Hornbeam	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
CR	9	Cercis canadensis Eastern Redbud	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
GT	10	Gleditsia triacanthos 'Northern Acclaim' Northern Acclaim Honey Locust	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
LT	15	<u>Liriodendron tulipifera</u> Tulip Tree	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
PG	16	<u>Picea glauca</u> 'Densata' Black Hills Spruce	8' HT	SEE PLAN	B&B	FULL TO GROUND
РО	19	Picea omorika Siberian Spruce	8' HT	SEE PLAN	B&B	FULL TO GROUND
РС	4	Pyrus calleryana 'Redspire' Redspire Pear	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
TA	11	Tilia americana 'McKSentry' American Sentry Linden	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HE
SHRUBS				•		•
AM	22	Aronia melanocarpa Black Chokeberry	30" HT	4' OC	B&B	
ВХ	41	Buxus x 'Northern Charm' Northern Charm Boxwood	30" HT	3' OC	B&B	MAINTAIN AS HEDG
CS	31	Cornus sericea 'Baileyii' Bailey Red Twig Dogwood	36" HT	5' OC	B&B	
FX	42	Forsythia x 'Lynwood Gold' Lynwood Gold Forsythia	36" HT	4' OC	B&B	
IG	112	<u>llex glabra</u> 'Strongbox' Strongbox Holly	30" HT	30" OC	B&B	MAINTAIN AS HEDG
JV	22	Juniperus virginiana Red Cedar	6' HT	8' OC	B&B	
RK	20	Rosa 'Double Knockout' Double Knockout Rose	30" HT	30" OC	B&B	
TO	17	<u>Thuja occidentalis</u> 'Smaragrd' Emerald Green Arborvitae	5' HT	3' OC	B&B	SHEAR AT UNIFORM
VC	41	Viburnum carlesii Koreanspice Viburnum	36" HT	6' OC	B&B	
GROUN	DCOVERS/I	PERENNIALS				
CA	92	<u>Calamagrostis a.</u> 'Karl Foerster' Karl Foerster Feather Reed Grass	3 GAL	30" OC	CONT	
HS	8	Hemercallis 'Purple D'Oro' Purple D'Oro Daylily	2 GAL	24" OC	CONT	
LR	84	Liriope spicata Creeping Lilyturf	1 GAL	15" OC	CONT	TRIANGULAR SPACII





SEAL

PROJECT 47500 6 Mile Road 6 Mile Rd. and Beck Rd. Nothville Township

CLIENT JS Capitol Group 155 Romeo Road

Contact: Jeff Schmitz Phone: (248) 650-9850

Rochester, Michigan 48307

PROJECT LOCATION Part of the SE $\frac{1}{4}$ of Section 8 T.1S., R.8E. Northville Township,

Wayne County, Michigan

SHEET Landscape Plan



REVISIONS	
DRAWN BY:	
G. Ostrowski	
DESIGNED BY:	
G. Ostrowski	
APPROVED BY:	
G. Ostrowski	
DATE:	

M637

SHEET NO.

KRIEGER KLATT ARCHITECTS

2120 E. 11 Mile Rd. | Royal Oak, MI 48067 P: 248.414.9270 F: 248.414.9275 www.kriegerklatt.com

Client:

J.S. Capitol Group 155 Romeo, Suite 300 Rochester, MI 48307

Project:

Issued

Premier Academy 47500 Six Mile Road Northville, MI 48168

Description

133060	Description	
11.16.2021	Conceptual Design	
12.02.2021	Schematic Design	
01.18.2022	SLU-SPA	
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North Arrow:

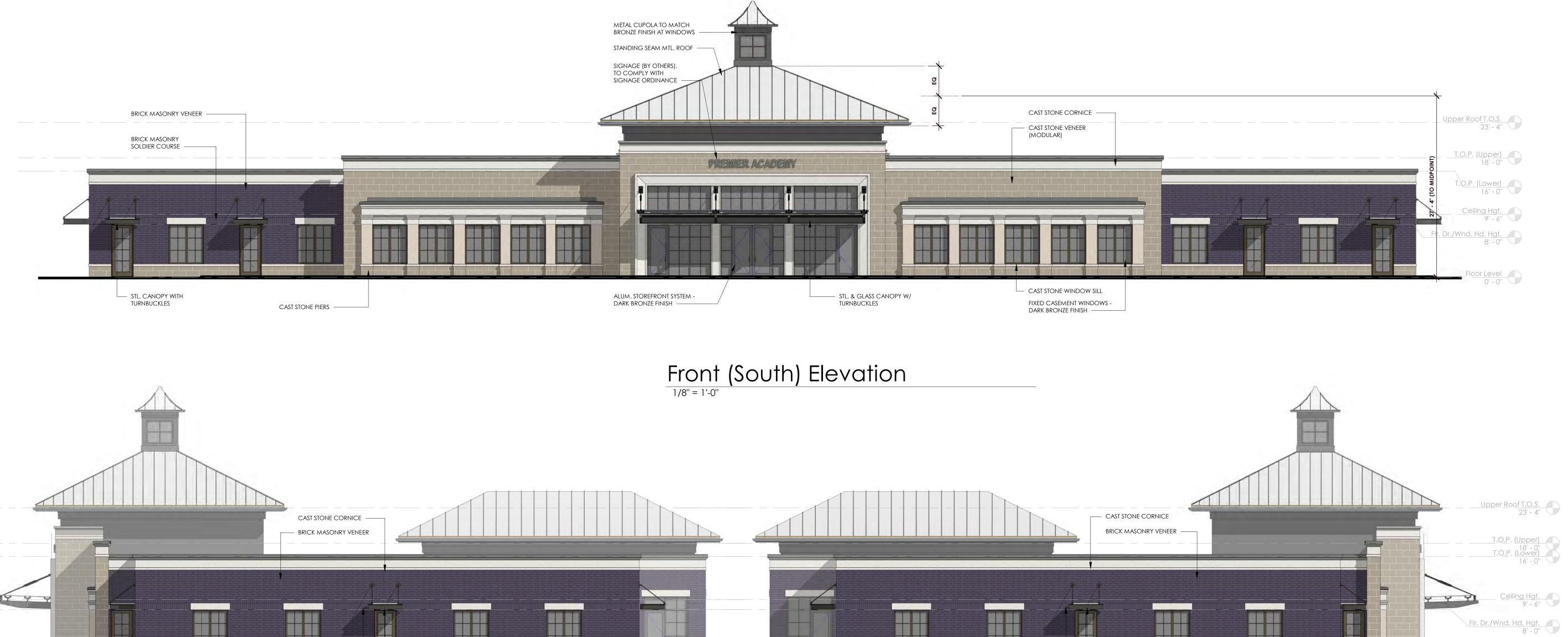
Sheet Title:

Overall Exterior Elevations

Project Number:

21-088

Sheet Number:





BRICK MASONRY SOLDIER COURSE -

BRICK MASONRY SOLDIER COURSE CAST STONE VENEER (MODULAR)

- CAST STONE VENEER (MODULAR)

- STL. CANOPY WITH TURNBUCKLES

 STL. CANOPY WITH TURNBUCKLES BRICK MASONRY SOLDIER COURSE - STL. CANOPY WITH TURNBUCKLES - CAST STONE VENEER (MODULAR)

Rear (North) Elevation



View of front approach from Six Mile Rd.



View of front approach



View to rear of building

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Client:

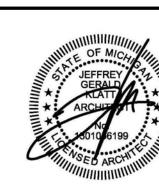
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.18.2022	SLU-SPA	
.18.2022	SLU-SPA Rev. 1	

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Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field. North Arrow:

Sheet Title:

Exterior Renderings

Project Number:

Sheet Number:

A 300



Bird's eye view from above



View to building from North



View to building from West





Site section cut from Six Mile Rd. to adjacent Hickory Creek condominiums

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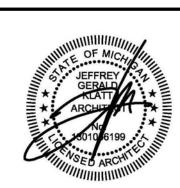
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