# SITE PLAN FOR MEADOWBROOK COUNTRY CLUB DRIVING RANGE AND PARKING LOT NORUTULE TOWNSHIP, MICHIGAN

SEVEN MILE RD. LOCATION MAP NOT TO SCALE

OWNER:

MEADOWBROOK COUNTRY CLUB 40941 W. EIGHT MILE ROAD NORTHVILLE TOWNSHIP, MI 48167 PHONE: (734 427-9111

CONTACT: JOE ARISTEO, REPRESENTATIVE

CIVIL ENGINEER/LAND SURVEYOR:

ZEIMET WOZNIAK AND ASSOCIATES, INC. 55800 GRAND RIVER, SUITE 100 NEW HUDSON, MI 48165 PHONE: (248) 437-5099 FAX: (248) 437-5222

CONTACT: ANDY WOZNIAK

FOR SITE PLAN FOR NEW

MAINTENANCE BUILDING, SEE PSLU 21-0001

#### LANDSCAPE ARCHITECT:

ALLEN DESIGN 3557 CARPENTER NORTHVILLE, MI 48167 PHONE: (248) 467-4668 CONTACT: JIM ALLEN, RLA

#### GOLF COURSE ARCHITECT:

STAPLES GOLF DESIGN 4300 MILLER ROAD, SUITE 124 SCOTTSDALE, AZ 85251 PHONE: (602) 843-9074 CONTACT: ANDY STAPLES

#### ARCHITECT:

McINTOSH PORIS ASSOCIATES 36801 WOODWARD AVE., SUITE 200 BIRMINGHAM, MI 48009 PHONE: (248) 258-9346 CONTACT: ROSS HOEKSTRA



**ENGINEERING** OVERALL EXISTING CONDITIONS **EXISTING CONDITIONS** EXISTING CONDITIONS

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A-101 FLOOR PLAN EXTERIOR ELEVATIONS A-201 EXTERIOR ELEVATIONS

SITE LIGHTING ELECTRICAL SITE PLAN ELECTRICAL CUT SHEETS LEVEL 1 LIGHTING PLAN

### **GENERAL PROVISIONS:**

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER

IMMEDIATELY IF A CONFLICT IS APPARENT. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENT OF ALL STRUCTURES. KNOWN OR UNKNOWN, SHOWN OR UNSHOWN, LOCATED WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE IF ANY SUCH STRUCTURES ARE IDENTIFIED. ALL COSTS ASSOCIATED WITH LOCATING AND ADJUSTING THESE STRUCTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. DESIGN PROFESSIONAL AND CLIENT WARRANT THAT IN TRANSMITTING INSTRUMENTS OF SERVICE, OR ANY OTHER INFORMATION, THE TRANSMITTING PARTY IS THE COPYRIGHT OWNER OF SUCH INFORMATION OR HAS PERMISSION FROM THE COPYRIGHT OWNER TO TRANSIT SUCH INFORMATION FOR ITS USE OF THE PROJECT. IF THE CLIENT AND DESIGN PROFESSIONAL INTEND TO TRANSMIT INSTRUMENTS OF SERVICE OR ANY OTHER INFORMATION OR DOCUMENTATION IN DIGITAL FORM, THEY SHALL ENDEAVOR TO ESTABLISH NECESSARY PROTOCOLS GOVERNING SUCH TRANSMISSIONS.

MEADOWBROOK COUNTRY CLUB LEGAL DESCRIPTION

PART OF THE NORTH 1/2 OF SECTION 1, T. 1 S., R. 8 E., NORTHVILLE TOWNSHIP, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 1 AND PROCEEDING ALONG THE NORTH LINE OF SECTION 1 ALSO BEING THE CENTERLINE OF EIGHT MILE ROAD (60 FEET WIDE, 1/2 WIDTH) N. 87'00'02" E. 178.75 FEET; THENCE S. 02'46'25" E. 60.00 FEET TO THE POINT OF BEGINNING LOCATED ON THE SOUTH RIGHT-OF-WAY LINE OF EIGHT MILE ROAD; THENCE FROM SAID POINT OF BEGINNING AND ALONG SAID SOUTH RIGHT-OF-WAY LINE OF EIGHT MILE ROAD THE FOLLOWING TWO (2) COURSES; 1.) N. 87°00'02" E. 2494.39 FEET AND 2.) N. 86°43'12" E. 696.39 FEET TO THE WEST LINE OF "SPRINGBROOK HILLS TRACT NO. ONE", ALSO BEING THE WEST LINE OF SPRING STREET (25 FEET WIDE), ALL BEING RECORDED IN LIBER 35, PAGE 8 WAYNE COUNTY RECORDS; THENCE ALONG SAID WEST LINE, S. 01'57'05" E. 1539.62 FEET MEASURED, (PREVIOUSLY RECORDED AS S. 01°45' W. 1540.00 FEET); THENCE ALONG THE WEST LINE OF "FAIRWAYS OF MEADOWBROOK SUBDIVISION", RECORDED IN LIBER 117, PAGES 34-36 INCLUSIVE WAYNE COUNTY RECORDS, S. 01'44'54" E. 834.43 FEET (PREVIOUSLY RECORDED AS S. 02'34'40" W.) TO THE NORTH LINE OF "MEADOWBROOK ESTATES", AS RECORDED IN LIBER 43, PAGE 97 WAYNE COUNTY RECORDS, ALSO BEING ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION 1; THENCE ALONG SAID NORTH LINE OF "MEADOWBROOK ESTATES", S. 84'10'04" W. 658.45 FEET (PREVIOUSLY RECORDED AS S. 87'48' W.) TO THE CENTER OF SAID SECTION 1: THENCE CONTINUING ALONG SAID EAST AND WEST 1/4 LINE THE FOLLOWING TWO (2) COURSES: 1.) S. 84°07'06" W. 815.50 FEET AND 2.) ALONG THE NORTH LINE OF "GRAND VIEW ACRES", RECORDED IN LIBER 51, PAGE 13 WAYNE COUNTY RECORDS, S. 84'04'37" W. 1863.46 FEET (PREVIOUSLY RECORDED AS S. 86'55'40" W. 1863.15 FEET) TO THE WEST 1/4 CORNER OF SAID SECTION 1; THENCE ALONG THE WEST LINE OF SECTION 1, ALSO BEING THE EAST LINE OF "QUAIL RIDGE SUBDIVISION" RECORDED IN LIBER 99. PAGES 29-31 INCLUSIVE. WAYNE COUNTY RECORDS, N. 02'46'25" W. 1998.80 FEET (PREVIOUSLY RECORDED AS N. 02'47'10" W.); THENCE N. 87'00'02" E. 357.50 FEET; THENCE N. 02'46'25" W. 208.50 FEET; THENCE N. 67°55'17" W. 196.99 FEET MEASURED (197.18 FEET RECORD); THENCE N. 02°46'25" W. 248.00 FEET (MEASURED AND RECORD) TO THE POINT OF BEGINNING. CONTAINING 185.59 ACRES OF LAND MORE

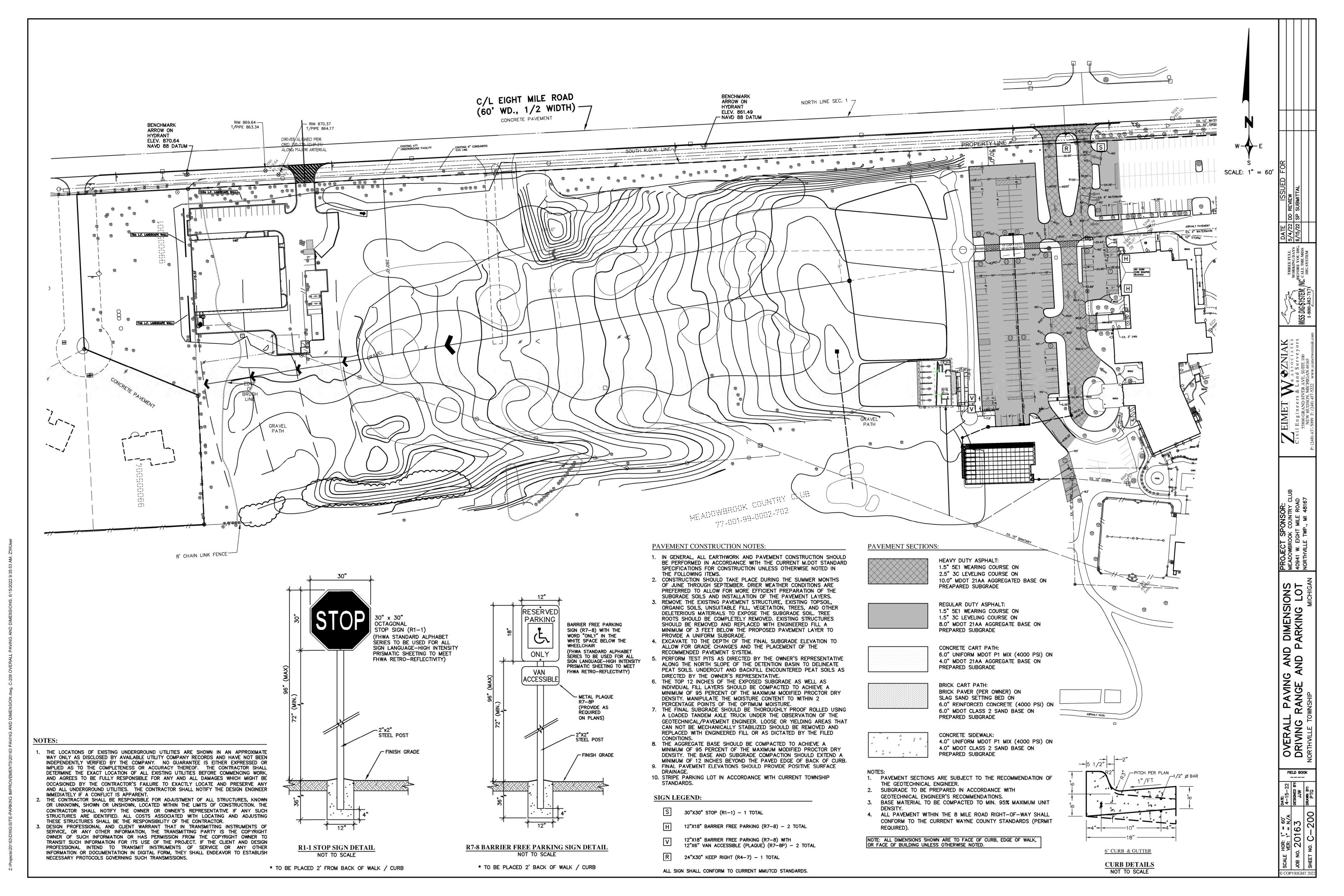


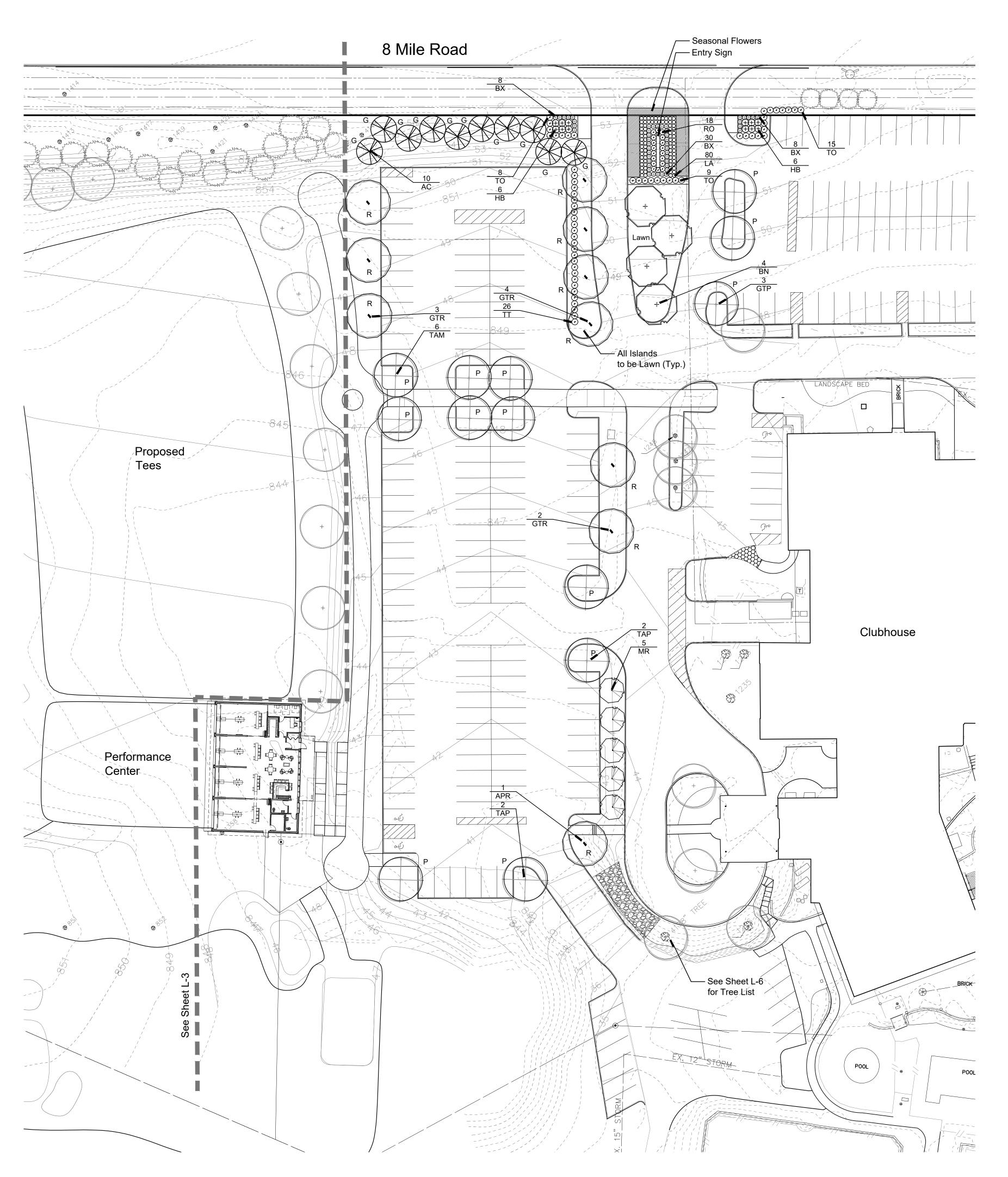


EXISTING CONDITIONS **EXISTING CONDITIONS** OVERALL PAVING AND DIMENSIONS **PAVING AND DIMENSIONS** PAVING AND DIMENSIONS PAVING AND DIMENSIONS **PAVING AND DIMENSIONS** OVERALL SITE PREPARATIONS SITE PREPARATIONS SITE PREPARATIONS SITE PREPARATIONS OVERALL GRADING AND DRAINAGE **OVERALL STORM SEWER** STORM SEWER STORM SEWER STORM SEWER OVERALL SANITARY SEWER AND WATERMAIN C-601 SANITARY SEWER AND WATERMAIN C-602 SANITARY SEWER AND WATERMAIN C-603 SANITARY SEWER AND WATERMAIN C-604 SANITARY SEWER AND WATERMAIN OVERALL EROSION CONTROL C-701 EROSION CONTROL **EROSION CONTROL** EROSION CONTROL EROSION CONTROL C-800 STORMWATER MANAGEMENT CALCULATIONS & DETAILS C-801 STORMWATER MANAGEMENT MAINTENANCE SCHEDULES LANDSCAPING EXISTING ENTRY VEGETATION ENTRY PLAN LANDSCAPE PLAN LANDSCAPE DETAILS L-4 L-5 WOODLAND PLAN L-6 TREE LIST

SITE LIGHTING CALCULATIONS

DRIVING







## Landscape Summary - This Sheet

Street Trees 8 Mile Street Frontage Trees Required 354 l.f. 9 Trees (354' / 40') 0 Trees\* Trees Provided Greenbelt 8 Mile 354' 9 Trees (354' / 40') Greenbelt Length Trees Required 10 Trees 53 Shrubs (354' / 40') x 6 108 Shrubs Trees Provided Shrubs Required Trees Provided Parking Lot Landscaping New Paved Area Trees Required Trees Provided 37,491 s.f. 13 Trees (37,491 / 3,000) 13 Trees Woodland Replacement Replacement Required
Maintenance Building Remaining Credits
Total Replacement Required
Replacement Trees Caliper Provided Sheet L-2 30"

### Plant List - This Sheet

\* Trees Cannot be Planted Due to Existing Underground Utilities.

Sheet L-3 368"

sym.	qty.	botanical name	common name	caliper	spacing	root	height
Greenl	oelt						
AC	10	Abies concolor	White Fir		as shown	B&B	8'
BX	46	Buxus x. Green Velvet'	Green Velvet Boxwood		as shown	cont	24"
HB	12	Hydrangea p. 'Limelight'	Limelight Hydrangea		as shown	cont	30"
LA	80	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender		as shown	cont.	#2
RO	18	Rosa 'Coral Drift'	Coral Drift Rose		as shown	cont.	#3
TO	32	Thuja occidentalis 'Techny'	Techny Arborvitae		as shown	B&B	6', Clip to 5'
	10	Trees Provided					
	108	Shrubs Provided					
Parkin	g Lot						
GTP	3	Gleditsia Triacanthos 'Skyline"	Skyline Honey Locust	3.0"	as shown	B&B	
TAP	10	Tilia americana "McKSentry'	McKSentry Linden	3.0"	as shown	B&B	
	13	Trees Provided					
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Woodl	and Re	eplacement					
APR	1	Acer platanoides	Norway Maple	3.0"	as shown	B&B	
GTR	9	Gleditsia Triacanthos 'Skyline"	Skyline Honey Locust	3.0"	as shown	B&B	
	30.0	Replacement DBH Provided					
Genera	al Plan	tings					
BN	4	Betula nigra	Multi-Stem River Birch		as shown	B&B	14'
MR	5	Malus "Red Barron'	Red Barron Crabapple	2.5"	as shown	cont	
П	26	Thuja occidentalis 'Techny'	Techny Arborvitae		as shown	B&B	6', Clip to 5'

Seal:



# Title: Entry Plan

### Project:

Meadowbrook Country Club Northville Township, Michigan Driving Range and Entry

### Prepared for:

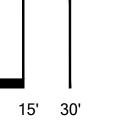
Meadowbrook Country Club 40941 West Eight Mile Northville, Michigan 48167

Revision:	Issued:			
Review	June 9, 2022			
SP Submittal	June 15, 2022			

Job Number:

21-039

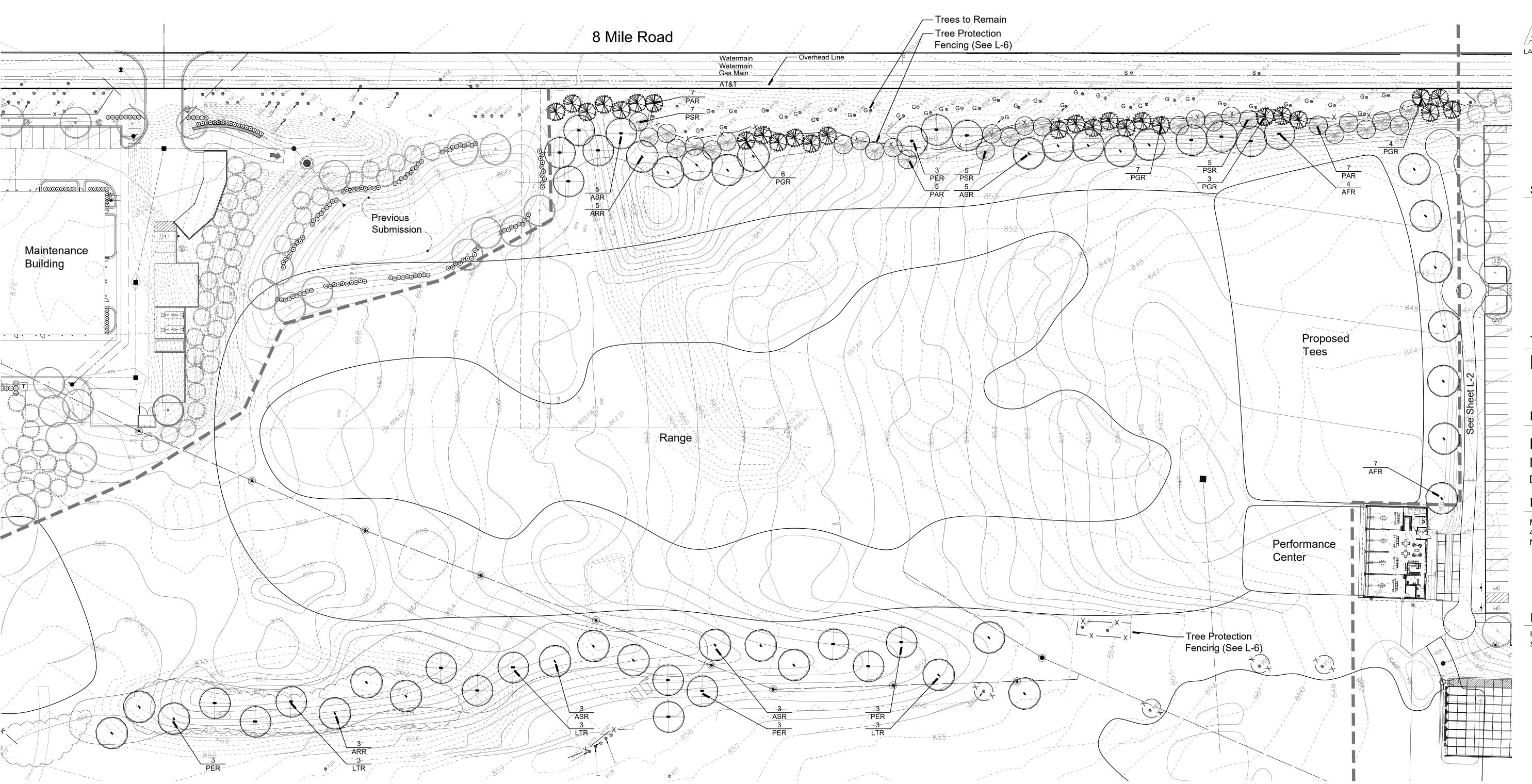
Drawn By: Checked By:





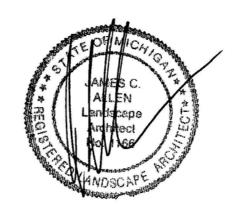
Sheet No.







Seal:



# Landscape Plan

Project:

Meadowbrook Country Club Northville Township, Michigan Driving Range and Entry

Prepared for:

Meadowbrook Country Club 40941 West Eight Mile Northville, Michigan 48167

	Revision:	Issued:			
	Review	June 9, 2022			
4	SP Submittal	June 15, 2022			

## Landscape Summary - This Sheet

Street Trees
8 Mile
Street Frontage
720 l.f.
Trees Required
Trees Provided
2 Trees (720' / 40')
Trees Provided
2 Trees (2 Existing)\*

Greenbelt
8 Mile
Greenbelt Length
720'
"Trees Required
Trees Provided
18 Trees (720' / 40')
Trees Provided
18 Trees (19 Existing)
Shrubs Required
108 Shrubs (720' / 40') x 6
Trees Provided
18 Trees (108 Shrubs / 6 = 18 Trees)
(18 Existing)

Woodland Replacement
Replacement Provided
368"

\* Trees Cannot be Planted Due to Existing Underground Utilities.

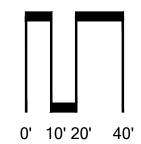
## Plant List - This Sheet

sym.	qty.	botanical name	common name	caliper	spacing	root	height	Replacement
Woodl	and Re	placement						
AFR	11	Acer x. freemanii 'Autumn Blaze'	Autumn Blaze Maple	3.0"	as shown	B&B		33.0
ARR	8	Acer rubrum 'October Glory'	October Glory Red Maple	3.0"	as shown	B&B		24.0
ASR	16	Acer scaccharum 'Green Mountain'	Green Mountain Sugar Maple	3.0"	as shown	B&B		48.0
LTR	9	Liriodendron tulipifera	Tulip Tree	3.0"	as shown	B&B		27.0
PAR	19	Picea abies	Norway Spruce		as shown	B&B	10'	67.9
PER	12	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	3.0"	as shown	B&B		36.0
PGR	20	Picea glauca 'Densata'	Black Hills Spruce		as shown	B&B	10'	71.4
PSR	17	Pinus strobus	White Pine		as shown	B&B	10'	60.7
	368.0	Replacement DBH Provided						368.0

Job Number:

21-039

Drawn By: Checked By:



NORTH 1"=40'

Sheet No.













36801 Woodward Avenue Suite 200

Birmingham, Michigan 48009 T - (248) 258-9346 F - (248) 258-0967 E - mp@mcintoshporis.com

SUED FOR	DATE
PERMIT BID SET	03/18/22
SP REVIEW	06/15/22

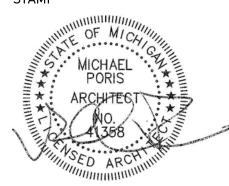
PERFORMANCE CENTER

MEADOWBROOK COUNTRY CLUB 40941 EIGHT MILE ROAD NORTHVILLE MI 48167

SHEET

EXTERIOR **ELEVATIONS** 

STAMP



SCALE

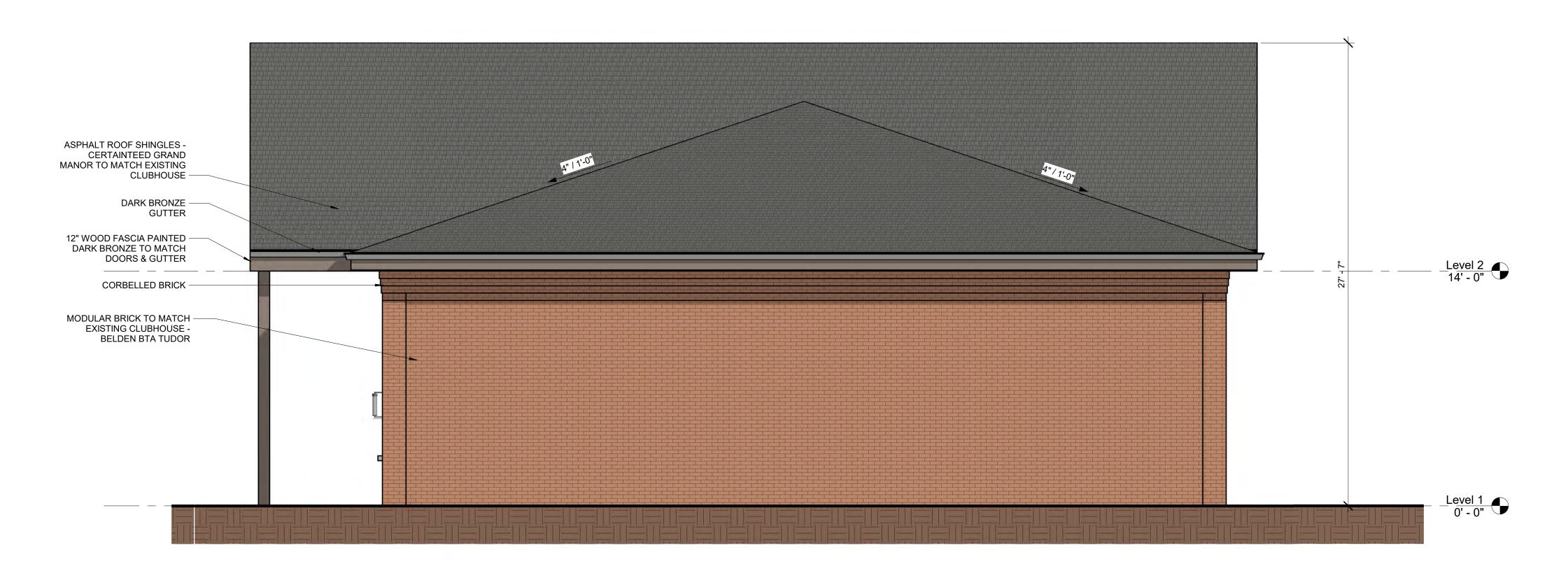
1/4" = 1'-0"

PROJECT NUMBER

2106.00

SHEET NUMBER

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**ELEVATION SOUTH** SCALE: 1/4" = 1'-0"



3 SP REVIEW

36801 Woodward Avenue Suite 200 Birmingham, Michigan 48009 T - (248) 258-9346

- (248) 258-0967 E - mp@mcintoshporis.com	
SSUED FOR	DATE
PERMIT BID SET	03/18/22

06/15/22

**GENERAL NOTES** 

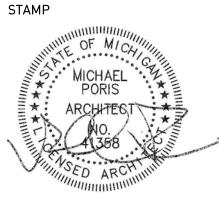
 ALL MASONRY AND MORTAR JOINTS TO BE INTEGRALLY FIELD APPLIED WITH WATER REPELLANT SEALER. 2. SEE STRUCTURAL DRAWINGS FOR RECOMMENDED MASONRY CONTROL JOINTS. FINAL LOCATIONS TO BE APPROVED BY ARCHITECT.

## PERFORMANCE CENTER

MEADOWBROOK COUNTRY CLUB 40941 EIGHT MILE ROAD NORTHVILLE MI 48167

SHEET

EXTERIOR ELEVATIONS



SCALE

1/4" = 1'-0"

PROJECT NUMBER

2106.00

SHEET NUMBER

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